

SARINA 1600 WEST - MIXED USE DEVELOPMENT



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DP0.2	SITE PHOTOS
DP1.0	SITE PLAN
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DP1.2	SITE DETAILS
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4	22-01-31	PTR SUBMISSION

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LANDSCAPE ARCHITECT

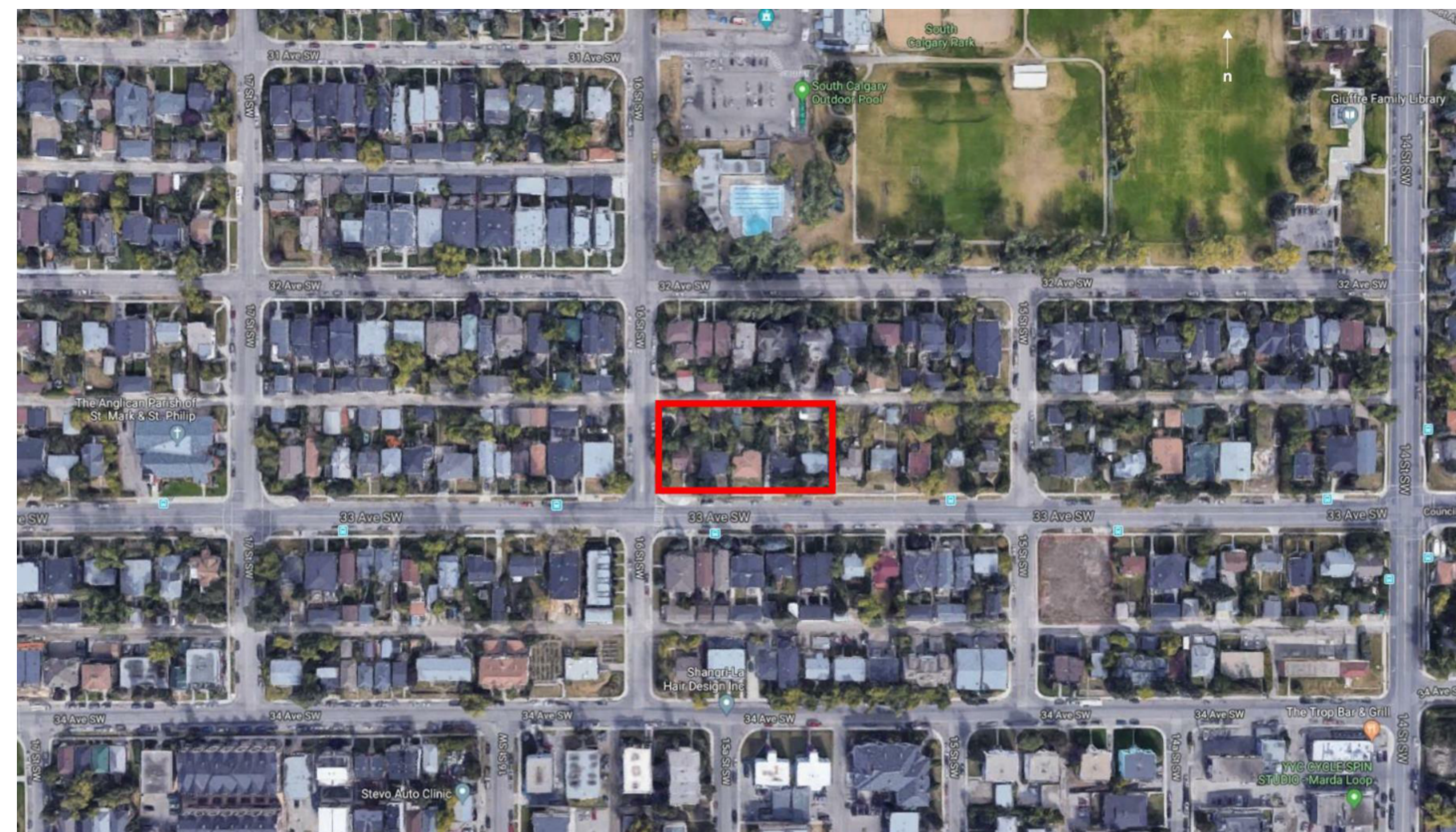
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site map



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PROJECT NAME AND ADDRESS

SARINA 1600 WEST

3360 16th Street SW

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COVER SHEET AND DRAWING LIST

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DP0.0

EXISTING ZONING: R-C2

LANE 35

33 AVENUE SW

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SITE PLAN LEGEND

	1046.26	DESIGN ELEVATION
	1046.26	EXISTING ELEVATION
	2%	SLOPE DOWN
		FIRE HYDRANT

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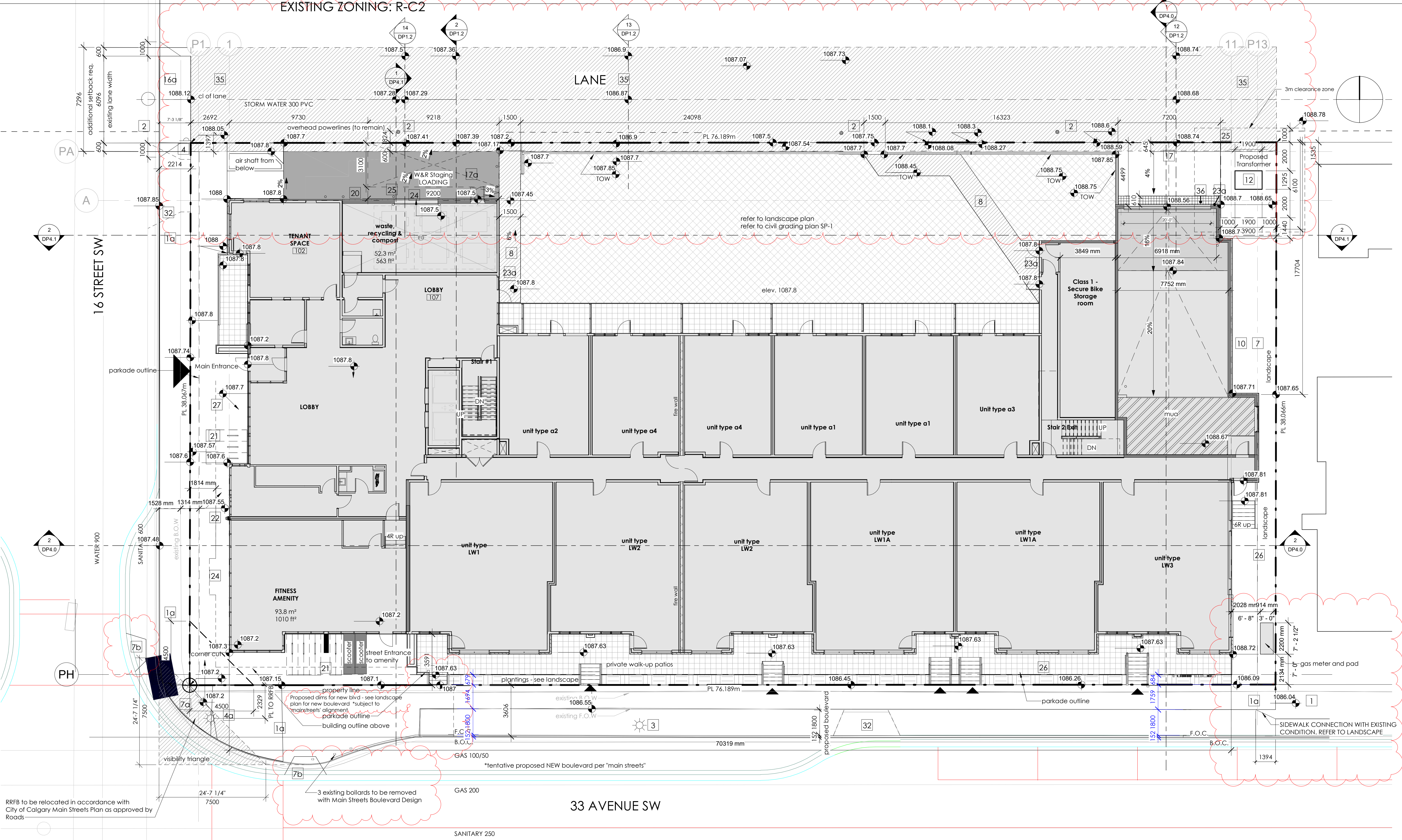
3360 16th Street SW

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SITE PLAN

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SCALE		
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DP1.0



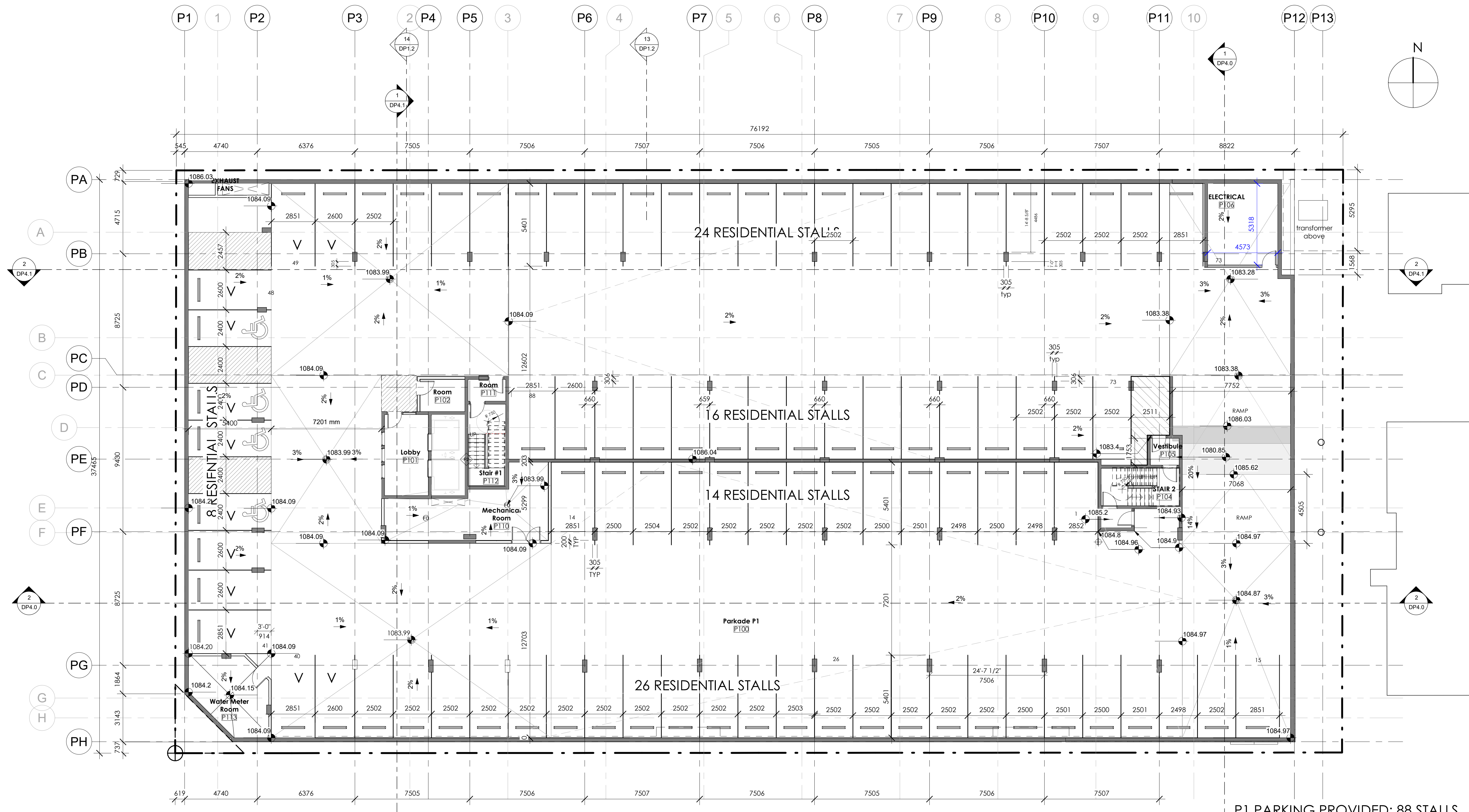
Level 1-Site Plan

3/32" = 1'-0"

SITE LEGEND

(REFER TO LANDSCAPE FOR BOULEVARD DESIGN)

1 EXISTING CITY SIDE WALK	7 SOD / LANDSCAPING (SEE LANDSCAPING DWGS)	11 EXISTING POWER MANHOLES	27 PRIMARY ENTRANCE FIRE LOCKBOX AND ALARM PANEL AT ENTRY (BUILDING ADDRESS ON 16TH AVE SW)
1a NEW CITY SIDE WALK - AS PER THE CITY OF CALGARY ROADS CONSTRUCTION 2012 SS: CONCRETE SIDEWALK 311.07.00 - REFER TO LANDSCAPE	7a EXISTING BARRIER FREE CURB CUT	12 TRANSFORMER ON CONCRETE PAD	28 PULL BOX AND CLEARANCES
2 EXISTING POWER POLE	7b PROPOSED BARRIER FREE WHEEL CHAIR RAMP. COORDINATE LOCATION WITH MAIN STREETS DESIGN. TO BE CONSTRUCTED IN ACCORDANCE WITH "Standard Specifications Road Construction"	13 100 WIDE PAINTED PARKING LINES (WHITE)	29 DECORATIVE AGGREGATE: REFER TO LANDSCAPE
3 EXISTING LAMP STANDARD	8 BARRIER FREE PATHWAY: SLP RESISTANCE CONCRETE FINISH / FEATURE PAVING - SEE LANDSCAPE DWGS	14 BARRIER-FREE PARKING PAINTED ON CONCRETE	30 STREET FURNITURE: REFER TO LANDSCAPE
3a LAMP STANDARD TO BE RELOCATED	9 EXISTING CATCH BASIN TO REMAIN	15 BARRIER-FREE PARKING SIGN MOUNTED ON WALL	31 PRIVATE PATIO SPACE
3b NEW LAMP STANDARD LOCATION	10 NEW TREES - REFER TO LANDSCAPE	16 CONCRETE SLAB APRON	32 EXISTING DRIVEWAY TO BE REMOVED AND REHABILITATED AT THE DEVELOPERS EXPENSE
4 EXISTING STREET SIGN (PLAYGROUND ZONE)	10a EXISTING TREES TO BE REMOVED & NEW TREES TO BE REPLANTED	16a NEW LANE APRON TO COC STANDARDS - REFER TO CIVIL	33 BENCHES - AS PER THE CITY OF CALGARY PARKS 2018 DEVELOPMENT GUIDELINES: 7.4.3.3 BENCH CONCRETE PAD (FOR BENCH) - BROOM FINISHED - AS PER THE CITY OF CALGARY ROADS CONSTRUCTION 2012 SS: CONCRETE SIDEWALK 311.07.00
4a EXISTING SIGN (PEDESTRIAN CROSSING)	10b EXISTING TREES TO REMAIN - REFER TO LANDSCAPE	17 CONCRETE PARKADE DRIVEWAY	34 CONCRETE FINISHED - AS PER THE CITY OF CALGARY ROADS CONSTRUCTION 2012 SS: CONCRETE SIDEWALK 311.07.00
4b NEW SIGN LOCATION		17a CONCRETE STAGING/ COLLECTION AREA - MIN 25,000 KG CAPACITY MIN 6.8m OVERHEAD CLEARANCE	35 LANE TO BE PAVED AT DEVELOPERS EXPENSE.
5 ASPHALT			36 GALVANIZED METAL DRAIN GRATE
6 CONCRETE - BROOM FINISH			
6a CONCRETE - DECORATIVE PLANTERS (SEE LANDSCAPING DWGS)			

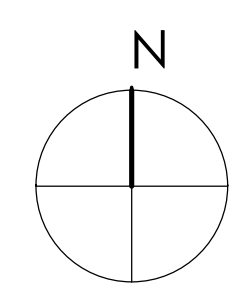


1 DP2.1
P1 Level
 3/32" = 1'-0"

P1 PARKING PROVIDED: 88 STALLS
76 RESIDENT
12 VISITOR (incl. 4 BF)

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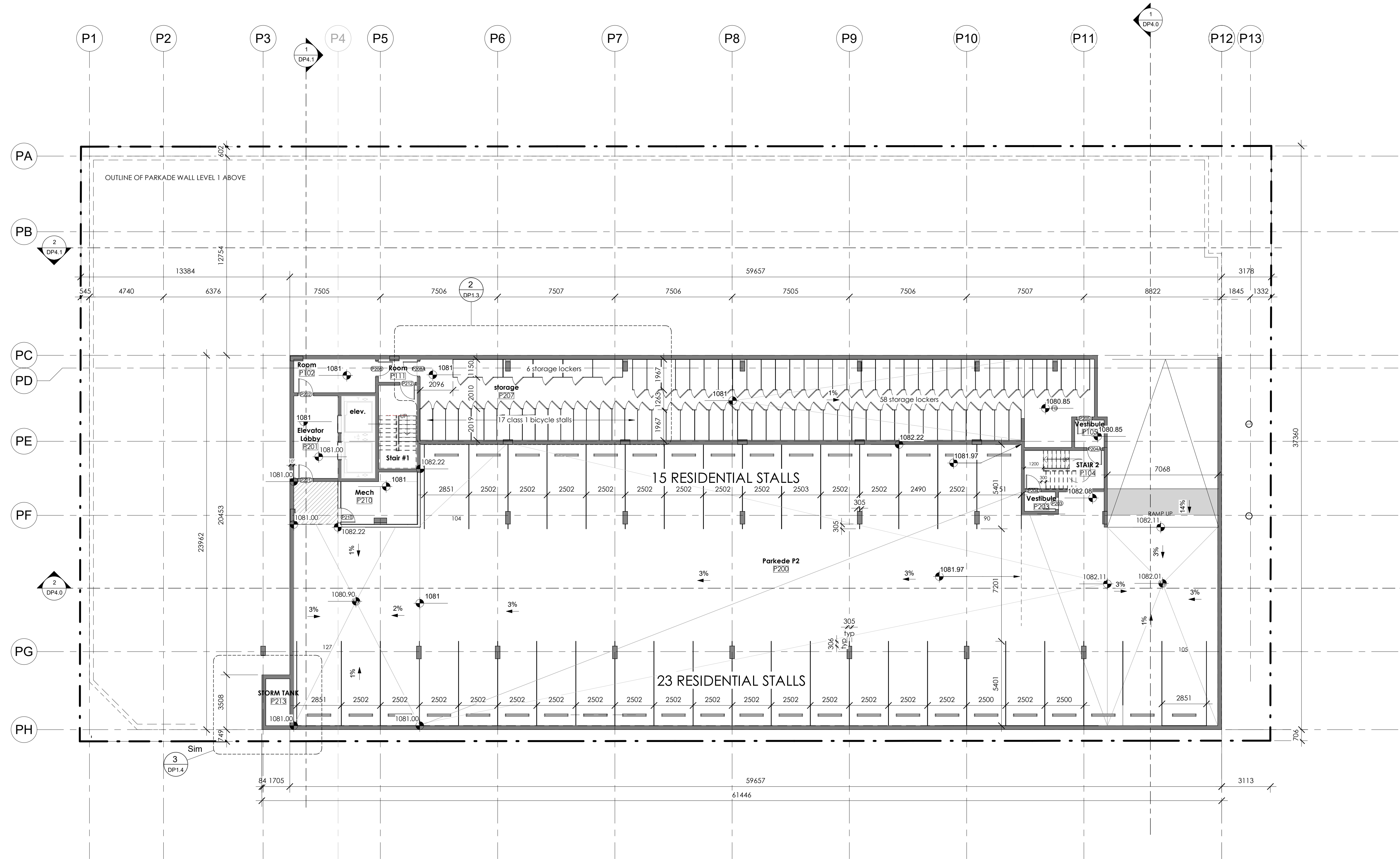
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DRAWING		
P1 LEVEL		
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SCALE		
AS NOTED		

DP2.1



1 P2
 DP2.1a 3/32" = 1'-0"

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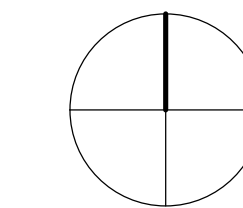
DRAWING
P2 LEVEL

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ISSUE DATE (yy/mm)	2019/10	
SCALE	AS NOTED	

DP2.1a

P2 PARKING PROVIDED: 38 STALLS

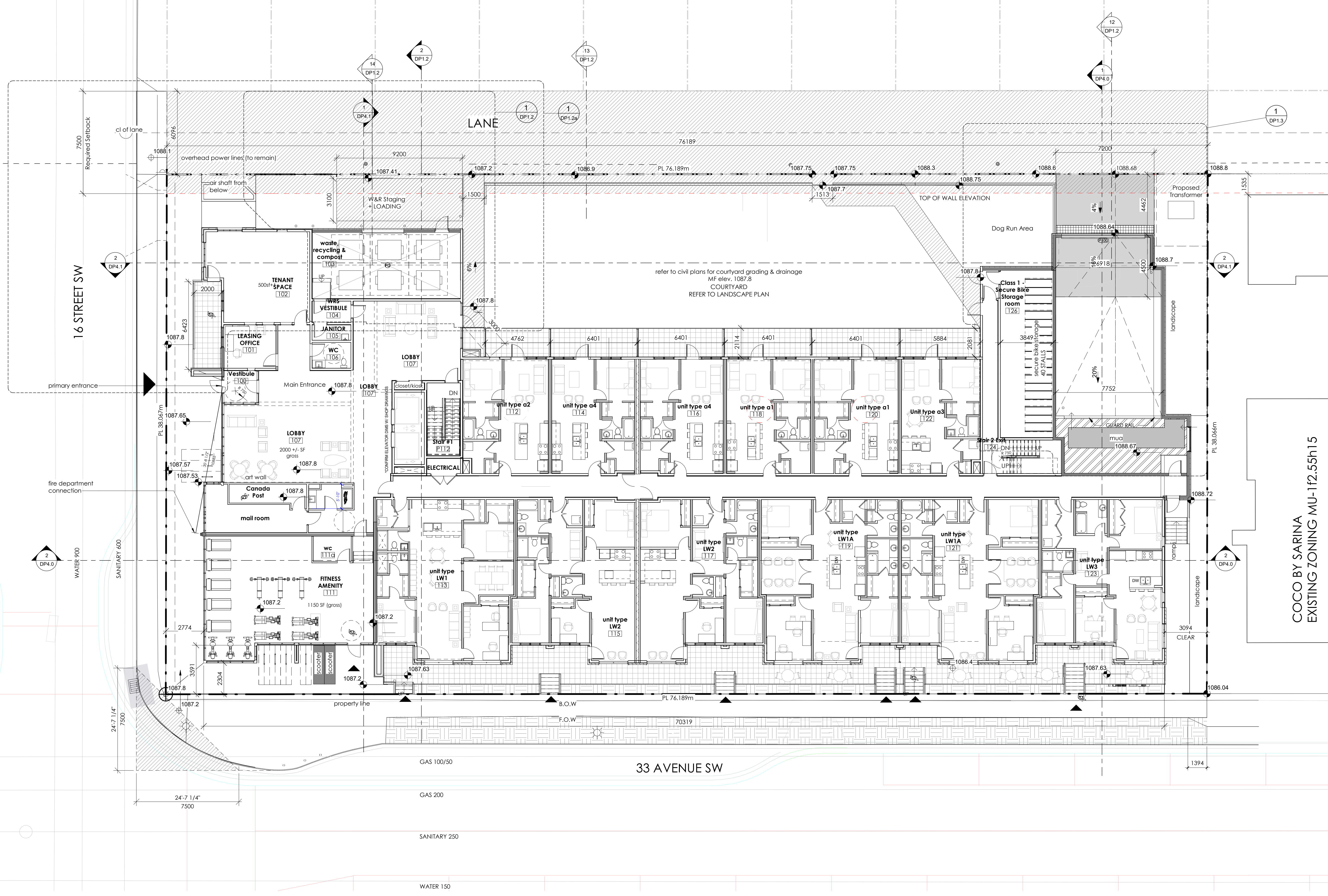
EXISTING ZONING: R-C2



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EXISTING ZONING MU-1f2.55h15

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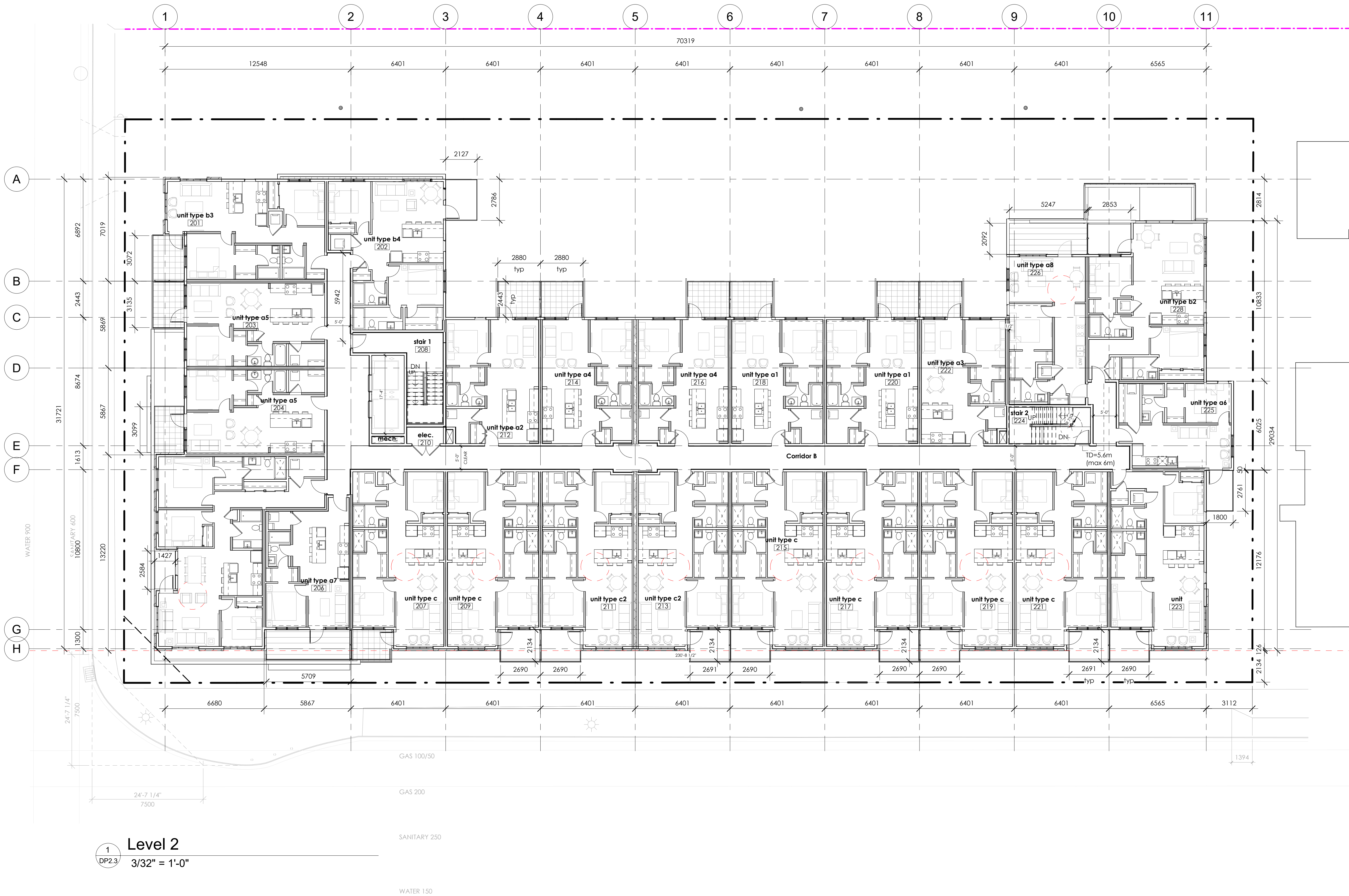
MAIN FLOOR PLAN

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2019/10		
SCALE		
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NOTE: REFER TO SITE PLAN - DP1.0 FOR ALL EXTERIOR CHANGES AND SITE DEVELOPMENT

1 DP2.2 Level 1-Main Floor plan
3/32" = 1'-0"

DP2.2



1
DP2.3
Level 2
3/32" = 1'-0"

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3360 16th Street SW

DRAWING
2ND FLOOR PLAN

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2019/10		DP2.3
SCALE AS NOTED		

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1 Level 3-Typical
 DP2.4 3/32" = 1'-0"
 level 3-5 floor plans are typical

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3RD FLOOR PLAN (Typical)

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DP2.4

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Revision Schedule		
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1	21-06-11	ISSUE FOR DP



1
DP2.5
Level 4
3/32" = 1'-0"
level 3-5 floor plans are typical

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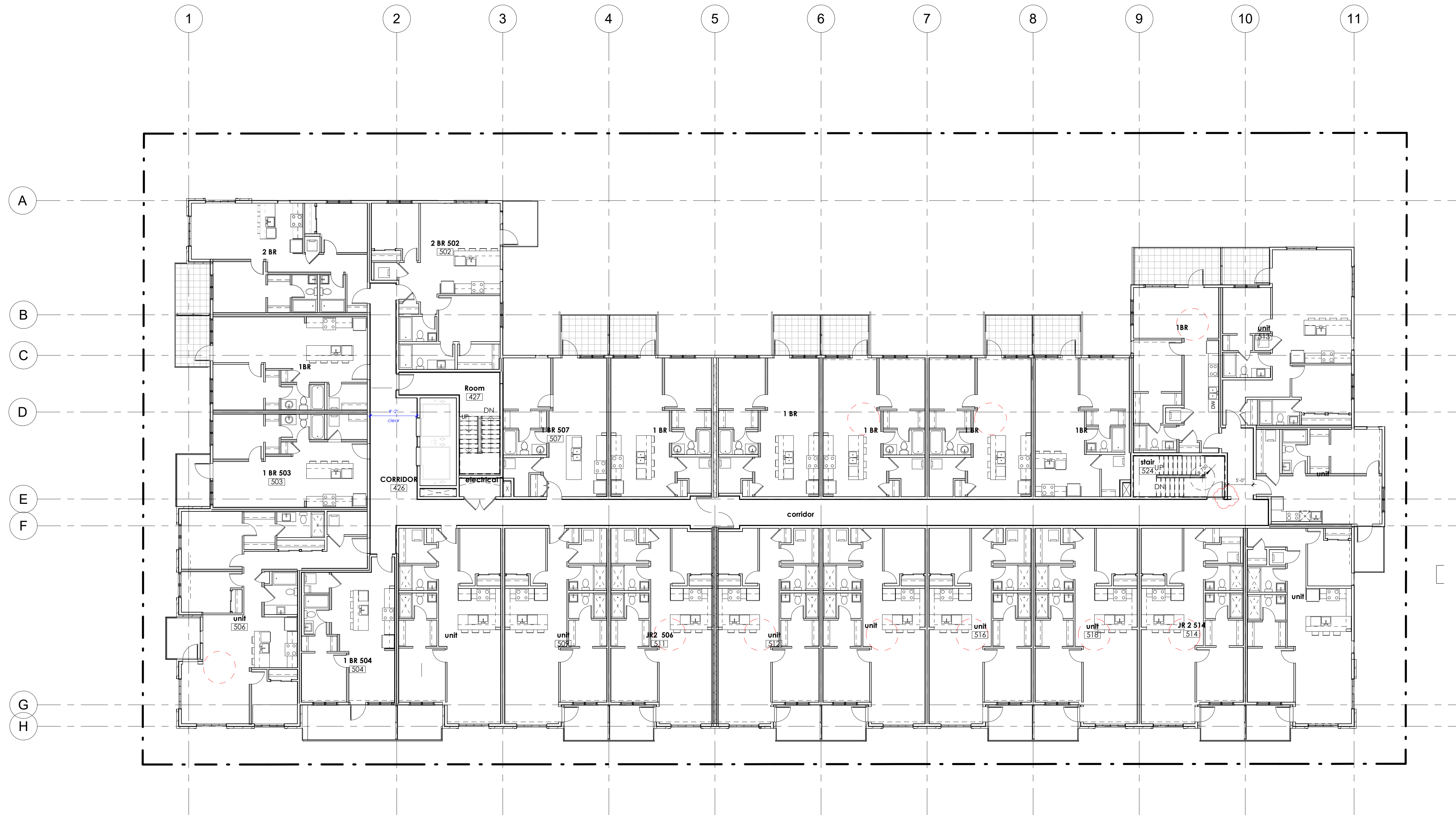
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4TH FLOOR PLAN

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2019/10		DP2.5
SCALE AS NOTED		



1 Level 5
 DP2.6 3/32" = 1'-0" level 3-5 floor plans are typical

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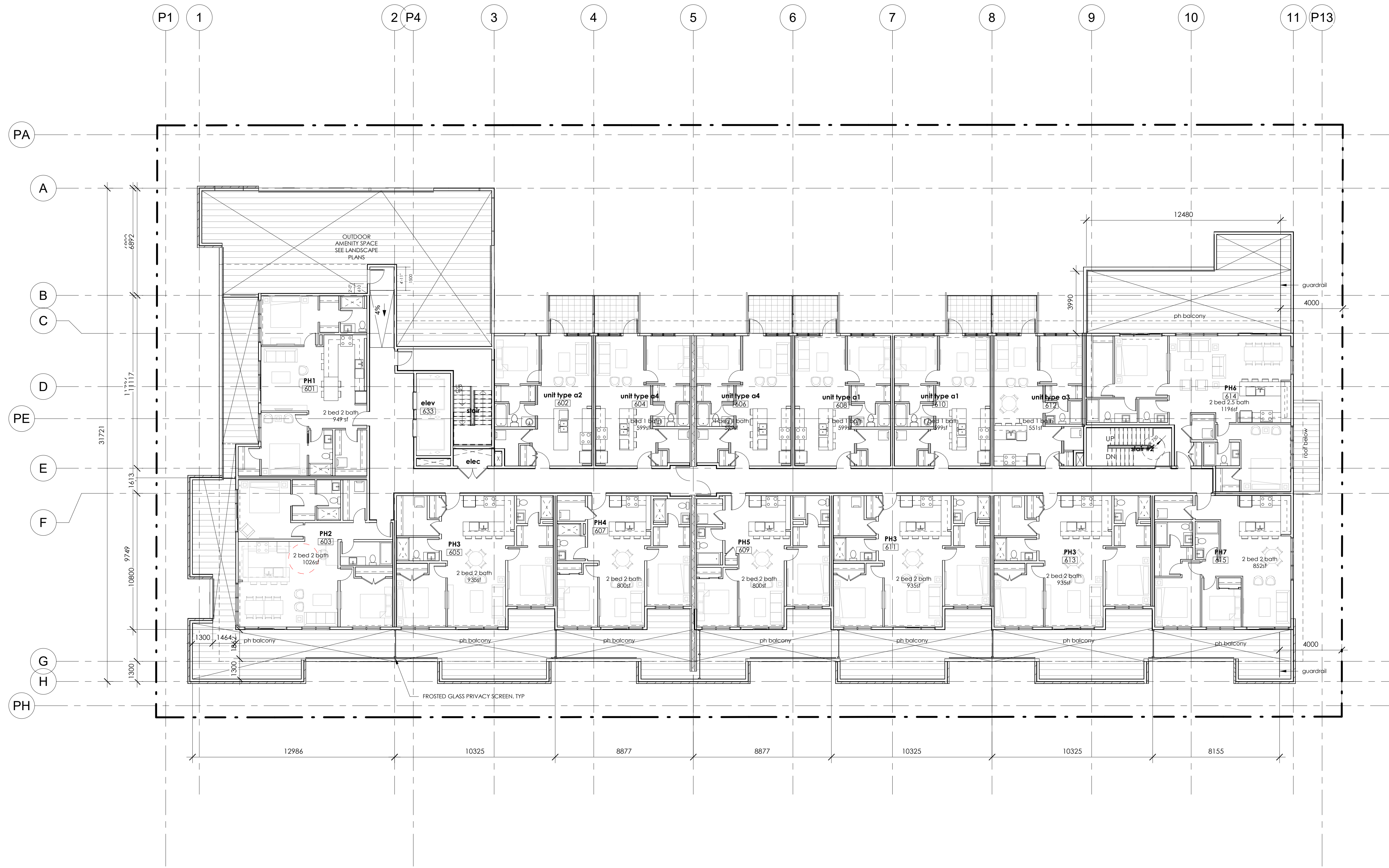
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DRAWING
5TH FLOOR PLAN

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SCALE AS NOTED	DP2.6	



1 Level 6
 DP2.7 3/32" = 1'-0"

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DRAWING
6th FLOOR PLAN

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SCALE AS NOTED	DP2.7	



2 South-33 Ave
3/32" = 1'-0"



1 West-16 St
3/32" = 1'-0"

Keynotes	
1	BRICK- STANDARD MISSION COLOUR
2	Fibre Cement Horizontal Siding- Shiplap '2-TONE GREY'(4"/6")
3	Fibre Cement Panels- Hardie 'WHITE'
4	Fibre Cement Panels- Hardie 'Anchor Black'
5	Smooth Stone - 8"x24" Manufactured limestone "Sandrift"
6	Fibre Cement Horizontal Siding - "Grey Slate"
7	Fibre Cement Horizontal Siding - Charcoal Black
8	ACM Panel- 'Black'
10	Aluminum Store Front- Charcoal
11	Sliding Door - Black
12	Vinyl Window - Black
14	Building Address
17	Prefinished Aluminium & Frosted Glass Panelled Privacy Screen
18	Concrete faced insulation board
20	Prefinished Aluminum Rail- Black Rail & Anodized Picket
21	Prefinished Aluminum Rail- Anodized Rail & Frosted Glass
23	ALUMINUM COMPOSITE PANEL- 'WHITE'
24	INSULATED OVERHEAD DOOR - WHITE

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DRAWING

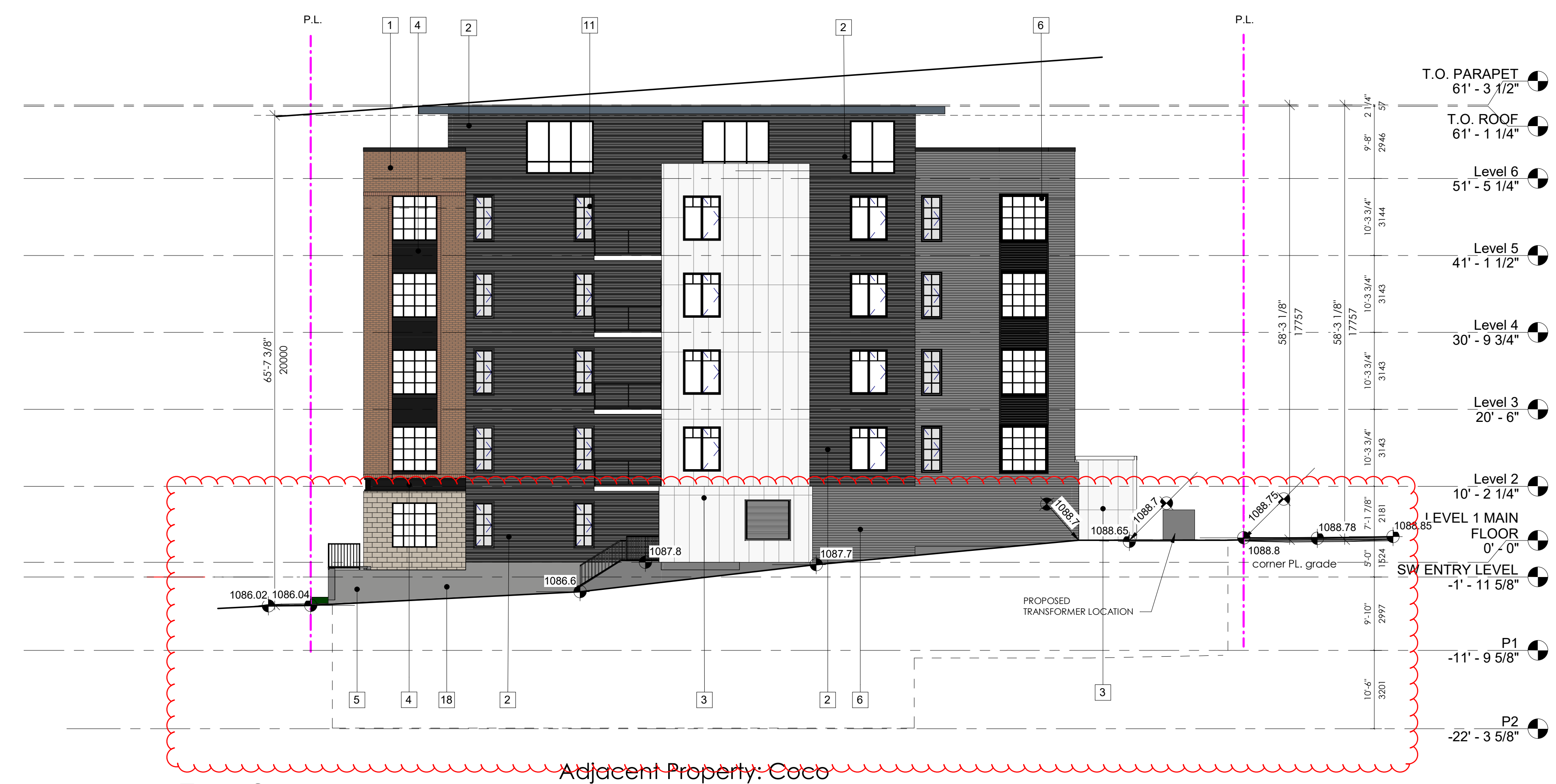
ELEVATIONS

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DP3.0



1 North-Lane
3/32" = 1'-0"



2 East-Coco
3/32" = 1'-0"

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4	Fibre Cement Panels- Hardie 'Anchor Black'
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7	Fibre Cement Horizontal Siding - Charcoal Black
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17	Prefinished Aluminium & Frosted Glass Panelled Privacy Screen
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20	Prefinished Aluminum Rail- Black Rail & Anodized Picket
21	Prefinished Aluminum Rail- Anodized Rail & Frosted Glass
23	ALUMINUM COMPOSITE PANEL- 'WHITE'
24	INSULATED OVERHEAD DOOR - WHITE

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3360 16th Street SW

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ELEVATIONS

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DP3.1



1 3_SW VIEW
DP5.0



2 2_SE VIEW
DP5.0

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DRAWING
VIEWS

DRAWN BY Author	JOB NO. 1911	Building Permit #
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	2019/10	
SCALE AS NOTED	DP5.0	



1 4_PARKADE RAMP ENTRY
DPS.1



2 1_NW VIEW
DPS.1

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	21-06-11	ISSUE FOR DP
2	21-08-26	Revise for DTR1
4	22-01-31	PTR SUBMISSION

PERMIT TO PRACTICE

STAMP

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PROJECT NAME AND ADDRESS
SARINA 1600 WEST
 3360 16th Street SW

DRAWING
VIEWS

DRAWN BY Author	JOB NO. 1911	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
	2019/10	DP5.1
SCALE AS NOTED		



1
DP5.2
33rd LIVE WORK WALKUP



2
DP5.2
COURTYARD

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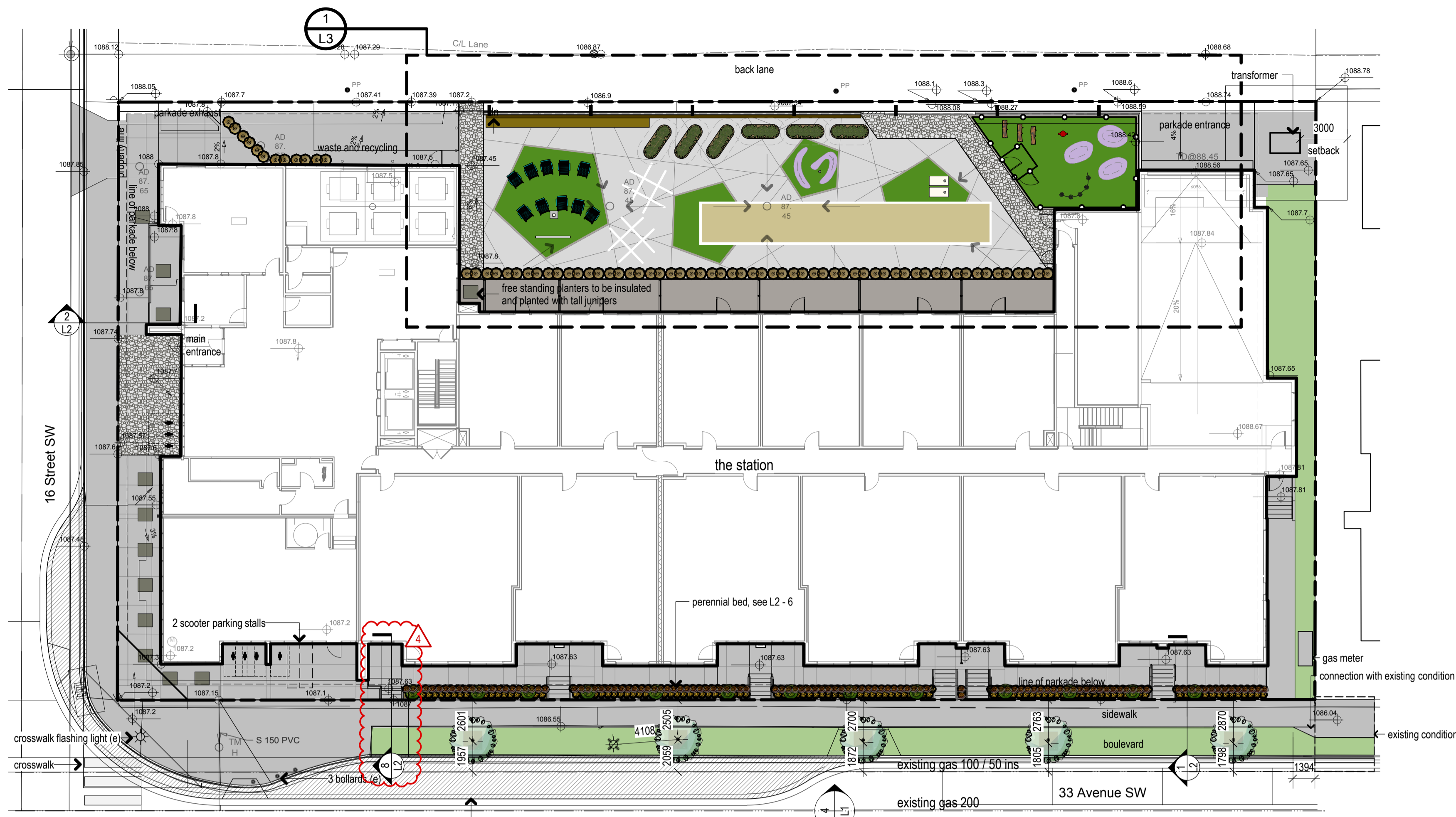
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1 ground level landscape plan
1:200

Design intent

The overall design intent is modern, fresh, and fun. Simple and charming, the landscape evokes an urban feel and creates a sense of place for the residents.

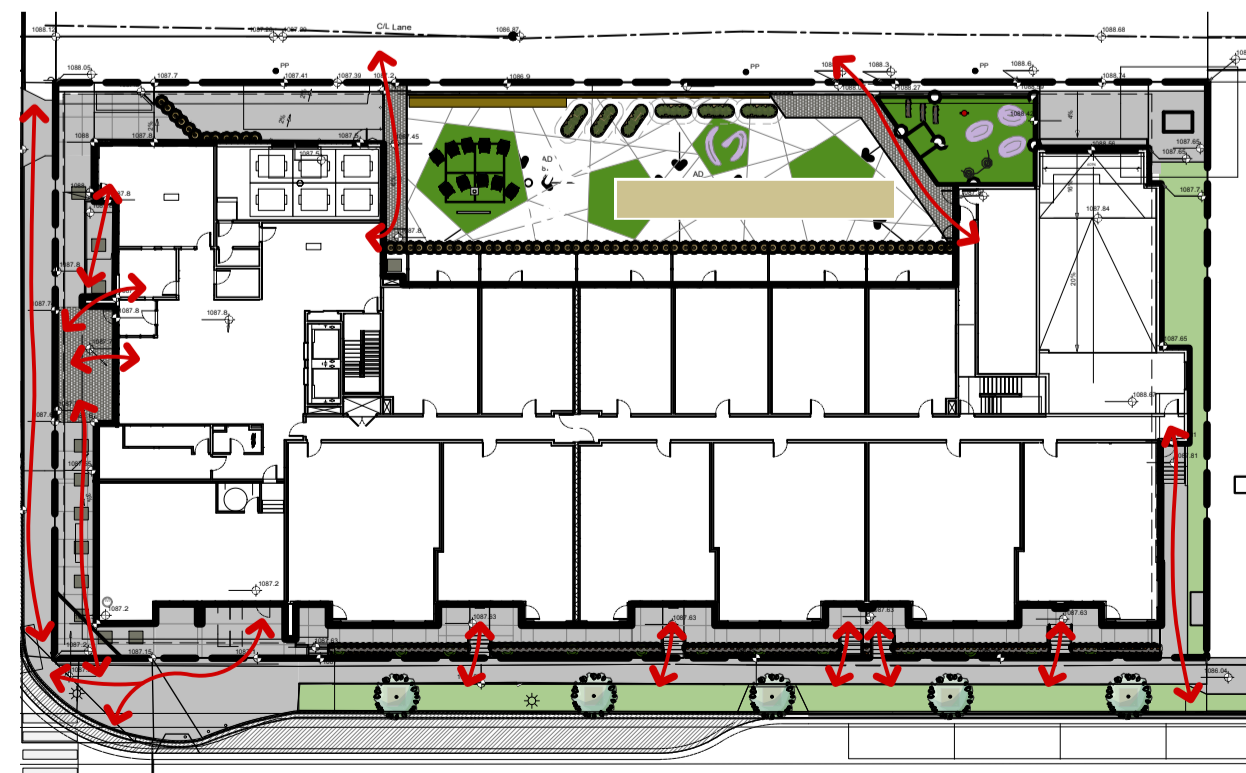
The building is located in the residential zone of the 33 Street Main Street Streetscape Master Plan. The intersection of 33 Avenue and 16 Street SW has recently been upgraded with a pedestrian crosswalk flashing light (see image 4 on L2). The intersection bulb out will be re-designed by the City per Main Street revitalization and re-built as per the City's geometry.

33 Avenue SW frontage

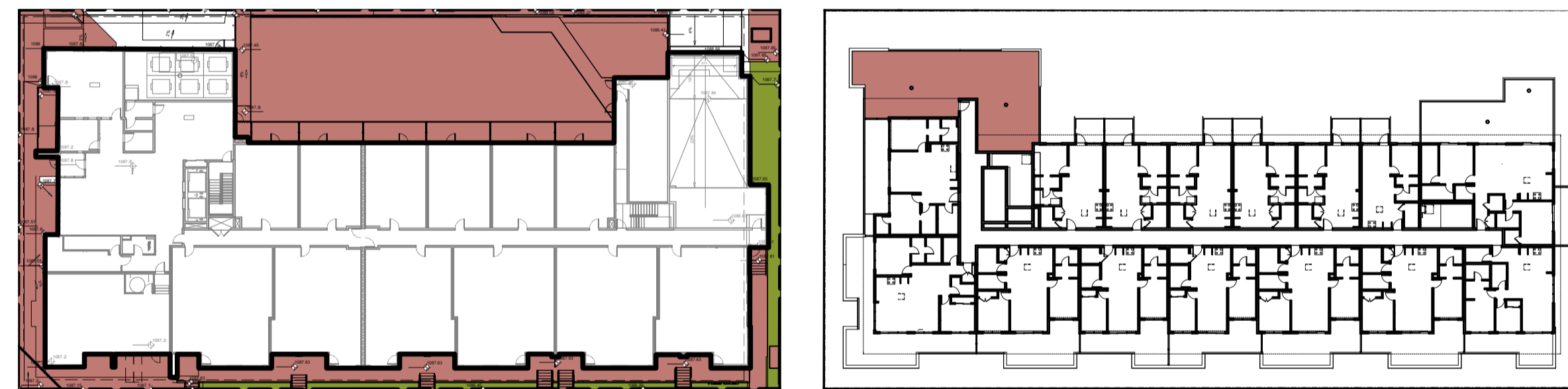
Japanese tree lilac street trees are planted along the boulevard. The planting beds between the building and the sidewalk are filled with daylilies (see L2 - 7) and punctuated with dwarf lilac shrubs in tree form.

16 Street SW frontage

Large free standing planters provide a burst of colour with seasonal arrangements.



3 pedestrian circulation
1:500



2 landscape areas and bylaw calculations
1:500



4 33 Avenue SW elevation concept
1:200

legend

trees	symbol	quantity	botanical name	common name	size
		5	<i>Syringa reticulata</i> 'Ivory silk'	ivory silk japanese tree lilac	75mm minimum calliper

shrubs	symbol	quantity	botanical name	common name	size
		13	<i>Syringa meyeri</i> 'palibin (tree form)'	dwarf korean lilac (tree form)	#5 container, min 600mm height or width

perennials	symbol	quantity	botanical name	common name	size
		233	<i>Hemerocallis x stella d'oro</i>	stella d'oro daylily	15 cm
		122	<i>Calamagrostis acutiflora</i>	karl foerster feather reed grass	#2 container

site elements	symbol	description
		sodded areas
		bark mulch
		artificial turf with a flat concrete curb
		crushed granular bocce ball surface
		artificial mound
		existing power pole
		courtyard light, see L3 - 11
		plain grey concrete, heavy broom finish with trowel joints as shown
		concrete with medium sandblast finish
		private patios with pavers, see L3 - 2
		class 2 bike rack (2 stalls), see L2 - 7 and L3 - 10
		free standing planter for seasonal displays, see L2 - 5
		stock tank planter with tall ornamental grasses, see L3 - 6

land use bylaw landscape requirements

City Of Calgary Zoning	MU1 mixed use - general
landscape area	provided
total parcel area	2,900.95 m2
landscape provided - ground level:	997.19 m2
landscape provided - sixth floor terrace	135.88 m2
landscape provided - ground level and terrace combined:	1,133.07 m2
total landscape area provided	1133.07 m2

	required	provided
deciduous trees		
large trees as per item 1346 (50% min 75mm cal)	0	0
medium trees as per item 1346 (min 50mm cal)	0	0
total deciduous trees	0	0
coniferous trees		
large trees as per item 1346 (50% 3.0m ht min)	0	0
medium trees as per item 1346 (2.0m ht min)	0	0
total coniferous trees	0	0
shrubs		
shrubs (min. 600mm height or spread)	0	13
street trees		
large trees (75mm cal)	0	5
medium trees (50mm cal)	0	0
total street trees	0	5

NOT FOR CONSTRUCTION

for review and coordination only

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 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
 - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.
 - Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications - Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector (403-804-9417) to arrange an inspection.
 - An Urban Forestry Technician must be called to site through 311 during tree trench backfill to ensure root barrier/fabric, soil volume and soil compaction meet the City specs.
 - Condition of the corner bulb out will be determined once the Master Streetscape Plan is completed by the City. Applicant to continue coordination of public realm with Main Streets project.

EIGHT ONE EIGHT STUDIO

PLANNING + DESIGN COLLABORATIVE
1812 14a street sw p 403.244.8188
calgary, ab t2t 3w6 e info@818studio.ca

number	revision	date	by	approved
2	gas meter location and alley connection	2022-01-26	jkk	
1	new base and updates as per discussions with CPAG	2021-08-25	jkk	

4	PTR response	2021-12-17		
3	DTR-1 response	2021-08-25		
2	development permit	2021-06-11		
1	review and coordination	21-05-27		

issued for _____ date (y.m.d) _____

project	Sarina 1600 West 33 Avenue SW		
drawing	development permit		
drawn	jkk	approved	aag
checked	aag	project number	0107.27
date	2021/05/26	sheet	L1
scale	as noted		

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project
Sarina 1600 West
33 Avenue SW

drawing
development permit

drawn _____ approved _____
checked _____ jkk project number _____ aag
date _____ aag 0107.27
scale 2021/05/26 sheet _____
as noted

L4

legend

-  plain grey concrete, heavy broom finish
-  square fire table
-  heater / lamp, see L4 - 10
-  rectangular fire table
-  side table
-  dining chair
-  patio chair
-  patio couch
-  rectangular metal planter planted with ornamental grasses
-  wall sconce light

